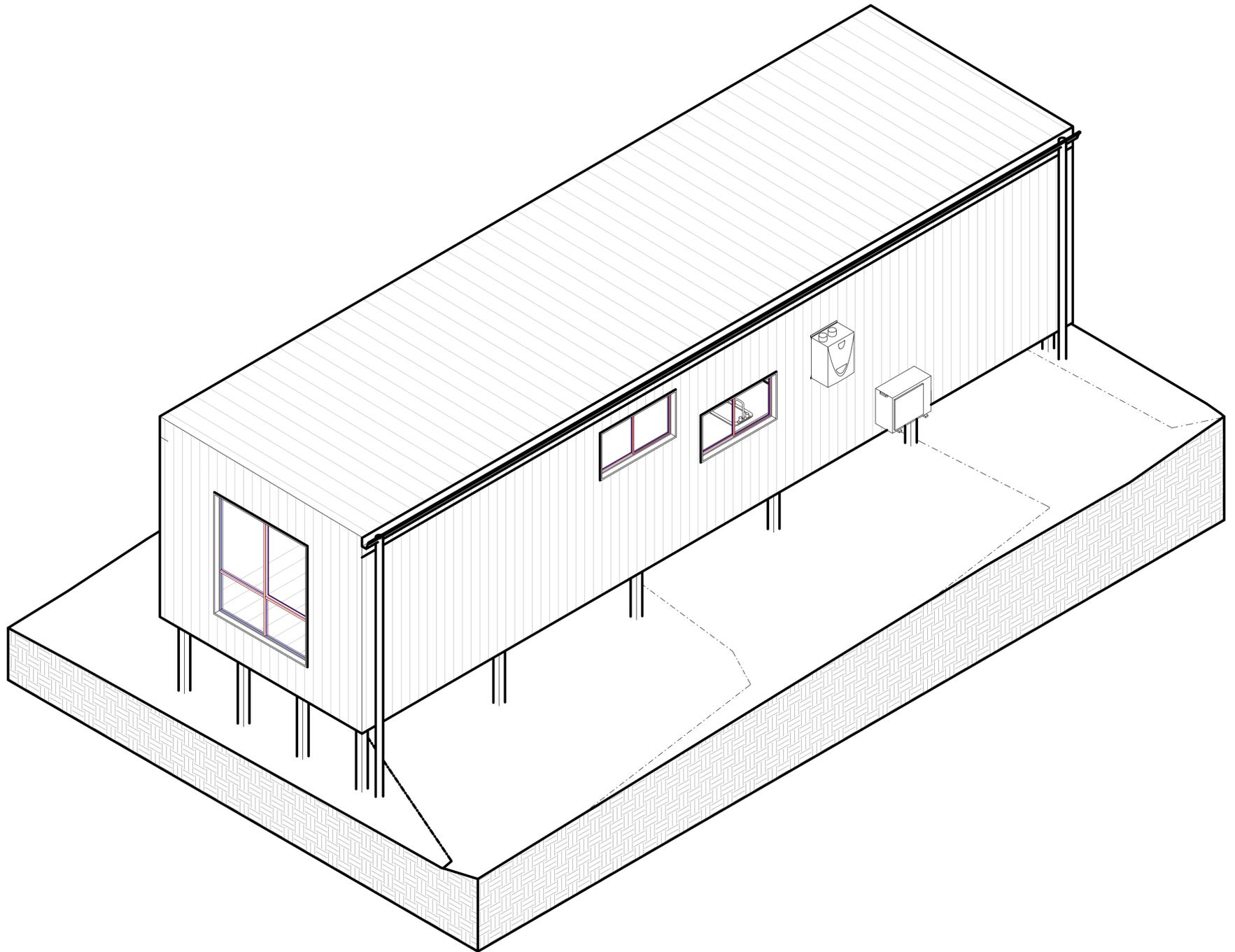


| SHEET LIST | | | |
|-----------------|--------------|------------------|-----------------------|
| Sheet Name | Sheet Number | Current Revision | Current Revision Date |
| COVER PAGE | A000 | 3 | 09/12/24 |
| GENERAL NOTES | A010 | 3 | 09/12/24 |
| SITE PLAN | A100 | 8 | 17/04/25 |
| FLOOR PLAN | A200 | 3 | 09/12/24 |
| ELEVATIONS | A300 | 3 | 09/12/24 |
| ELEVATIONS | A301 | 3 | 09/12/24 |
| ROOF PLAN | A400 | 3 | 09/12/24 |
| ELECTRICAL | A500 | 3 | 09/12/24 |
| WALL TYPES | A600 | 3 | 09/12/24 |
| DOOR SCHEDULE | A700 | 3 | 09/12/24 |
| WINDOW SCHEDULE | A701 | 3 | 09/12/24 |
| DETAILS | A800 | 3 | 09/12/24 |
| DETAILS | A801 | 3 | 09/12/24 |

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| Revision | Revision Description | Revision Date |
|----------|------------------------|---------------|
| 1 | ISSUED FOR INFORMATION | 04/11/24 |
| 2 | ISSUED FOR INFORMATION | 07/11/24 |
| 3 | ISSUED FOR INFORMATION | 09/12/24 |
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Project Name :
MURRAY

Project Address:
8 Pleasant View Pde, Bundabah NSW 2324

Client : Ghomes

Drawing Status
PRELIMINARY

Drawing Title
COVER PAGE

Project Number
24063

Drawing Number
A000

Revision
3

Issue Date
 09/12/24

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 1:0 @ A3



GENERAL NOTES

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- THESE DRAWINGS, INCLUDING ANY ACCOMPANYING SCHEDULES OR OTHER RELATED INFORMATION WHICH MAY BE ISSUED ARE TO BE READ IN CONJUNCTION WITH THE SERVICES CONSULTANTS DRAWINGS. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF BIT ARCHITECTS FOR CONFIRMATION / ACTION PRIOR TO PROCEEDING WITH PURCHASE, SUPPLY, INSTALLATION OR MANUFACTURE.

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM ANY SPECIAL INSTALLATION REQUIREMENTS WITH THE MANUFACTURER PRIOR TO INSTALLATION. THE CONTRACTOR IS TO INSTALL/MANUFACTURE ALL SPECIFIED PRODUCTS/ITEMS AS PER THE NOMINATED SUPPLIER INSTALLATION INSTRUCTIONS AND ENSURE ALL WARRANTY REQUIREMENTS ARE MET.

- IT IS A REQUIREMENT OF THE BUILDER / CONTRACTOR TO CHECK ALL DRAWINGS FOR COMPLIANCE AGAINST AUSTRALIAN STANDARDS AND BUILDING CODE.

- DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS ONLY. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS ARE TO STUD WALLS.

- THE BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, A.S. CODES (CURRENT EDITIONS) BUILDING REGULATIONS, LOCAL BYLAWS AND TOWN PLANNING REQUIREMENTS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.

- THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL RELEVANT ENGINEERS AND CONSULTANTS COMPUTATIONS AND DRAWINGS.

- ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS 2006, NATIONAL CONSTRUCTION CODE SERIES 2012 BUILDING CODE OF AUSTRALIA VOL 2 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.

- UNLESS OTHERWISE SPECIFIED, THE TERM BCA SHALL REFER TO NATIONAL CONSTRUCTION CODE SERIES 2019 BUILDING CODE OF AUSTRALIA VOLUME 2

- ALL WORKS SHALL COMPLY WITH BUT NOT LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS:

- A.S. 1288 - GLASS IN BUILDINGS - SELECTION AND INSTALLATION.
- A.S. 1562.1 - DESIGN AND INSTALLATION OF SHEET ROOF & WALL CLADDING.
- A.S. 1860 - INSTALLATION OF PARTICLEBOARD FLOORING.
- A.S.2047 - WINDOWS + EXTERNAL GLAZED DOORS
- A.S. 2049 - ROOF TILES A.S. 2050 - INSTALLATION OF ROOFING TILES.
- A.S. 2870 - (P1) RESIDENTIAL SLABS AND FOOTINGS. A.S./NZS 2904 - DAMP-PROOF COURSES AND FLASHINGS.
- A.S. 3600 - CONCRETE STRUCTURES.
- A.S. 3660.1 - TERMITE MANAGEMENT - NEW BUILDING WORK
- A.S. - WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.
- A.S. 12239 - FIRE DETECTION & ALARM SYSTEMS - SMOKE ALARMS
- A.S. 4055 - WIND LOADING FOR HOUSING.
- A.S. 4100 - STEEL STRUCTURES.
- AS4773-2015 MASONRY IN SMALL BUILDINGS
- AS3500.3 DRAINAGE + PLUMBING
- AS3785-2014 SMOKE ALARMS
- AS2906 - CELLULOSE CEMENT PRODUCTS
- AS1859.4 RECONSTITUTED WOOD BASED PANELS
- AS2918 - DOMESTIC SOLID-FUEL BURNING APPLIANCES - INSTALLATION
- A.S. 1926.1 - SWIMMING POOL SAFETY REQUIREMENTS

- MECHANICAL EXHAUSTS TO BE 25L/S FOR A BATHROOM OR ANY OTHER SANITARY COMPARTMENT + DUCTED DIRECTLY TO OUTSIDE

- MECHANICAL EXHAUSTS TO 40L/S FOR A KITCHEN OR LAUNDRY AREA AND DUCTED DIRECTLY TO OUTSIDE

- WEEPHOLES TO BE A MINIMUM OF 75MM ABOVE PAVED OR CONCRETED AREAS + 150MM ABOVE NGL.

- ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BCA WHERE AN ALTERNATIVE SOLUTION IS PROPOSED THEN, PRIOR TO IMPLEMENTATION OR INSTALLATION, IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AS MEETING THE PERFORMANCE REQUIREMENTS OF THE BCA.

- GLAZING, INCLUDING SAFETY GLAZING, SHALL BE INSTALLED TO A SIZE, TYPE AND THICKNESS SO AS TO COMPLY WITH: -BCA PART 3.6 FOR CLASS 1 AND 10 BUILDINGS WITHIN A DESIGN WIND SPEED OF NOT MORE THAN N3; AND -NCC 2019 BAC VOL. 1 PART B1.4 FOR CLASS 2 AND 9 BUILDINGS.

- WATERPROOFING OF WET AREAS, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740-2010: WATERPROOFING OF DOMESTIC WET AREAS.

- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ANY HOUSE ENERGY RATING (HERS) REPORT AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED PLANS ENDORSED BY THE ACCREDITED THERMAL PERFORMANCE ASSESSOR WITHOUT ALTERATION.

- WINDOW SIZES ARE NORMAL ONLY ACTUAL SIZE WILL VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.

- STORMWATER SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY.

- SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITIES REQUIREMENTS.

- NO FOOTINGS, GUTTERS OR ANY OTHER PART OF THE BUILDING SHALL ENCR OACH SITE BOUNDARIES OR EASEMENTS. THE SITE SHALL BE ADEQUATELY FENCED OFF DURING CONSTRUCTION TO PREVENT PUBLIC ACCESS.

- ALL WET AREAS TO COMPLY WITH B.C.A. CLAUSE 3.8.1.2 OR A.S. 3740 - WALL FINISHES SHALL BE IMPERVIOUS TO A HEIGHT OF 1800mm ABOVE FLOOR LEVEL TO SHOWER ENCLOSURES AND 150mm ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 75mm OF THE WALL.

STAINLESS STEEL OR GLASS FEATURE WALLS NEAR GAS COOKERS PROVIDE 200mm CLEARANCE FROM NEAREST BURNER TO THE STAINLESS STEEL OR GLASS WALL. OR THE SURFACE OF THE WALL IS TO BE PROTECTED AS PER AS 5601/AG 601, IF LESS THEN 200mm; STAINLESS STEEL - THE WALL MUST NOT CONTAIN COMBUSTIBLE MATERIALS CLAUSE 5.12.1.

GLASS WALLS - A LETTER IS SUPPLIED BY THE GLASS SUPPLIER OR GLASS MANUFACTURE INDICATING THAT THE GLASS IS FIT FOR THE PURPOSE AT THE CLEARANCE STATED AND IF THE GLASS IS AFFIXED TO A COMBUSTIBLE SURFACE, THAT SURFACE IS TO BE PROTECTED AS PER AS 5601/AG601, CLAUSE 5.12.1. NOTE: THE RECOMMENDED MINIMUM CLEARANCE FROM THE NEAREST BURNER TO THE SURFACE OF THE GLASS IS 140mm.

- SUB-FLOOR VENTS TO PROVIDE A RATE OF 7500mm SQ. CLEAR VENTILATION PER 1000mm RUN OF EXTERNAL MASONRY WALL AND 22000mm SQ. CLEAR VENTILATION PER 1000mm RUN OF INTERNAL DWARF WALLS.

- PROVIDE CLEARANCE FROM UNDERSIDE OF BEARER TO FINISH GROUND LEVEL OF 150mm FOR FLOOR WITH STRIP FLOORING OR 200mm FOR FLOORS WITH PARTICLE BOARD FLOORING OR 400mm CLEARANCE BETWEEN GROUND LEVEL AND UNDERSIDE OF BEARER FOR TERMIT AREAS.

- TERMITE TREATMENT IS TO BE INCLUDED IN ACCORDANCE WITH A.S. 3660

- ALL BRICKWORK TO COMPLY WITH A.S.4773. ALL SOLID AND BRICK VENEER WALLS SHALL HAVE A 25mm (MIN) CAVITY. DAMP PROOF COURSES SHALL BE AN APPROVED WATERPROOF MEMBRANE PLACED ABOVE GROUND LEVEL AND BELOW FLOOR LEVEL. ARTICULATION/EXPANSION JOINTS IN BRICKWORK SHALL BE PROVIDED AT 5.0m (MAX) CENTRES - STRUCTURAL ENGINEER'S DETAILS TO CONFIRM REQUIREMENTS.

- PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 600mm CRS IN EACH DIRECTION AND WITHIN 300mm OF ARTICULATION JOINTS.

- ALL MORTAR TO COMPLY WITH A.S. 3700 PART 2.2

- ALL TIMBER WORK TO COMPLY WITH A.S. 1684 OR TO STRUCTURAL ENGINEER'S DESIGN.

- ALL EXPOSED STEELWORK SHALL BE HOT DIPPED GALVANISED UNLESS NOTED OTHER WISE OR APPROVED.

- STAIR REQUIREMENTS:- RISERS - 190mm MAXIMUM, 115mm MINIMUM; GOING - 355mm MAXIMUM, 240mm MINIMUM; (PRIVATE STAIRS AND 250 FOR PUBLIC STAIRS) RISERS AND TREADS TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT. PROVIDE NON-SLIP FINISH OR SUITABLE NON-SKID STRIP NEAR EDGE OF NOSINGS. ENSURE MAXIMUM GAP BETWEEN RISERS NOT TO EXCEED 125mm OR USE CLOSED RISERS. PROVIDE BALUSTRADES WHERE CHANGE IN LEVEL EXCEEDS 1000mm ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS. BALUSTRADES (OTHER THAN TENSIONED WIRE BALUSTRADES) TO BE -1000mm IN. ABOVE FINISHED SURFACE LEVEL OF BALCONIES, LANDINGS OR THE LIKE, AND -865mm MIN. ABOVE FINISHED SURFACE LEVEL OF STAIR NOSING OR RAMP, AND -VERTICAL WITH LESS THAN 125mm GAP BETWEEN, AND ANY HORIZONTAL ELEMENT WITHIN THE BALUSTRADE BETWEEN 150mm AND 760mm ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 4000mm ABOVE THE SURFACE. BENEATH LANDINGS, RAMPS AND/OR TREADS, AND -DECKS WHICH ARE 1000mm OR MORE ABOVE GROUND LEVEL.

- WIRE BALUSTRADE CONSTRUCTION TO COMPLY WITH BCA 2019 PART 3.9.2.5 FOR CLASS 1 AND 10 BUILDINGS AND NCC 2019 BCA VOLUME 1 PART D2.16 FOR OTHER CLASSES OF BUILDINGS.

- TOP OF HAND RAILS TO BE MINIMUM 865mm VERTICALLY ABOVE STAIR NOSING AND FLOOR SURFACE OF RAMPS.

CHIMNEY / OPEN FIRE PLACE REQUIREMENTS:

- NON COMBUSTIBLE HEARTH MATERIAL
- HEARTH MUST EXTEND 300mm BEYOND THE FRONT OF THE FIREPLACE AND AT LEAST 150mm BEYOND EACH SIDE OF OPENING.
- UPPER SURFACE HEARTH TO SLOPE BACK INTO FIREPLACE
- HEARTH CONSTRUCTION MUST BE AT LEAST 150mm THICK
- CHIMNEY FLUE TERMINATION MUST BE 300MM MINIMUM ABOVE ANY PART OF THE ROOF LINE WITHIN 3.6m HORIZONTAL RADIUS.
- A DAMPER OR FLAP MUST BE PROVIDED TO ALL CHIMNEYS AND FLUES FROM SOLID FUEL BURNING APPLIANCES.

Table 3.9.1.3 Slip-resistance classification

| Application | Dry surface conditions | Wet surface conditions |
|------------------------------|------------------------|------------------------|
| Ramp not steeper than 1:8 | P4 or R10 | P5 or R12 |
| Tread surface | P3 or R10 | P4 or R11 |
| Nosing or landing edge strip | P3 | P4 |

- HOOP IRON HOLD DOWN STRAPS SHALL GENERALLY BE FIXED DOWN 1000mm +65 (MAX) FOR METAL DECK ROOFS AND BRICK WALLS.

- GANG-NAIL TRUSSES TO BE SUPPLIED BY APPROVED TRUSS MANUFACTURER AND BE IN ACCORDANCE TO COMPUTATIONS SUPPLIED BY THE MANUFACTURER.

- FIRE RATED TIMBER WALLS TO BE CONSTRUCTED AS PER ENGINEER OR MANUFACTURES DRAWINGS. PROVIDE 16mm FYRECHECK PLASTERBOARD / FIRE RATED CEMENT SHEETING + NON COMBUSTIBLE THERMAL INSULATION.

- UNLESS OTHERWISE NOTED BOX GUTTERS SHALL GENERALLY BE A MINIMUM OF 300mm WIDE X 150mm DEEP WITH 1:80 FALL (min). PROVIDE 75x50mm (min) OVERFLOW POPS TO BOX GUTTERS WHERE INDICATED. RAINWATER HEADS WITH OVERFLOWS TO BE PROVIDED WHERE SHOWN. FASCIA, GUTTERS, DOWNPIPES AND THE LIKE WITHIN 450mm OF THE BOUNDARY SHALL BE OF NON-COMBUSTIBLE MATERIALS. FLUES, CHIMNEYS, PIPES, DOMESTIC FUEL TANKS, COOLING AND HEATING APPLIANCES OR OTHER SERVICES MUST NOT BE BUILT WITHIN 450mm OF THE BOUNDARY.

- FULLY ENCLOSED SANITARY COMPARTMENTS:

- IF THERE IS NOT A CLEAR SPACE OF AT LEAST 1.2m BETWEEN THE CLOSET PAN WITHIN THE SANITARY COMPARTMENT AND NEAREST PART OF THE DOORWAY, THEN THE DOOR MUST EITHER OPEN OUTWARDS OR SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE OF THE SANITARY COMPARTMENT.

- DO NOT INTERFERE WITH FENCES PRIOR TO NEIGHBOURS CONSENT.

- CONCRETE STUMPS. -100mm SQ. UP TO 1400mm LONG (1 NO. H.D. WIRE); -100mm SQ. 1401mm TO 1800mm LONG (2 NO H.D. WIRES); -125mm SQ. 1801mm TO 3000mm LONG (2 NO. H.D. WIRES); NOTE ALL STUMPS EXCEEDING 1200mm ABOVE GROUND TO BE RE BRACED
- WHERE THE BUILDING (EXCLUDES A DETACHED CLASS 10) IS LOCATED IN A TERMITE PRONE AREA, THE AREA TO UNDERSIDE OF BUILDING AND PERIMETER IS TO BE TREATED AGAINST TERMITE ATTACK.

- FOR BUILDINGS IN MARINE OR OTHER EXPOSURE ENVIRONMENTS SHALL HAVE MASONRY UNITS, MORTAR AND ALL BUILT IN COMPONENTS AND THE LIKE COMPLYING WITH THE DURABILITY REQUIREMENTS OF TABLE 4.1 OF AS4773. 1-2015 'MASONRY IN SMALL BUILDINGS' PART 1: DESIGN.

- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF NEW AND EXISTING STRUCTURES DURING ALL WORKS.

- THE BUILDER SHALL ENSURE FOR THE GENERAL WATER TIGHTNESS OF ALL NEW AND EXISTING WORKS.

- SMOKE ALARMS TO BE SHOWN ON PLANS ARE TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH A.S. 3786-2014. AND UNLESS INSTALLED IN AN EXISTING PART OF A CLASS 1,2 OR 3 BUILDING OR A CLASS 4 PART OF A BUILDING THE SMOKE ALARM SHALL BE HARD WIRED WITH BATTERY BACKUP.

- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

- THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CUSTOMER AND FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE AUTHOR. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT AUTHOR'S WRITTEN CONSENT DOES SO AT OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE AUTHOR FOR SUCH USE AND/OR RELIANCE.

- THE APPROVAL BY THIS OFFICE OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ANY SAID VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING THE SAID VARIATION.

- THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS AND UNLESS EXPRESSLY STATED OTHERWISE, ARE PROVIDED ONLY AS GUIDELINES. NO RESPONSIBILITY IS ACCEPTED FOR THEIR USE.



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| 2 | ISSUED FOR INFORMATION | 07/11/24 |
| 3 | ISSUED FOR INFORMATION | 09/12/24 |
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Project Name :

MURRAY

Project Address:

8 Pleasant View Pde, Bundabah NSW 2324

Client : ghomes

Drawing Status

PRELIMINARY

Drawing Title

GENERAL NOTES

Project Number

24063

Drawing Number

A010

Revision

3

Issue Date

09/12/24

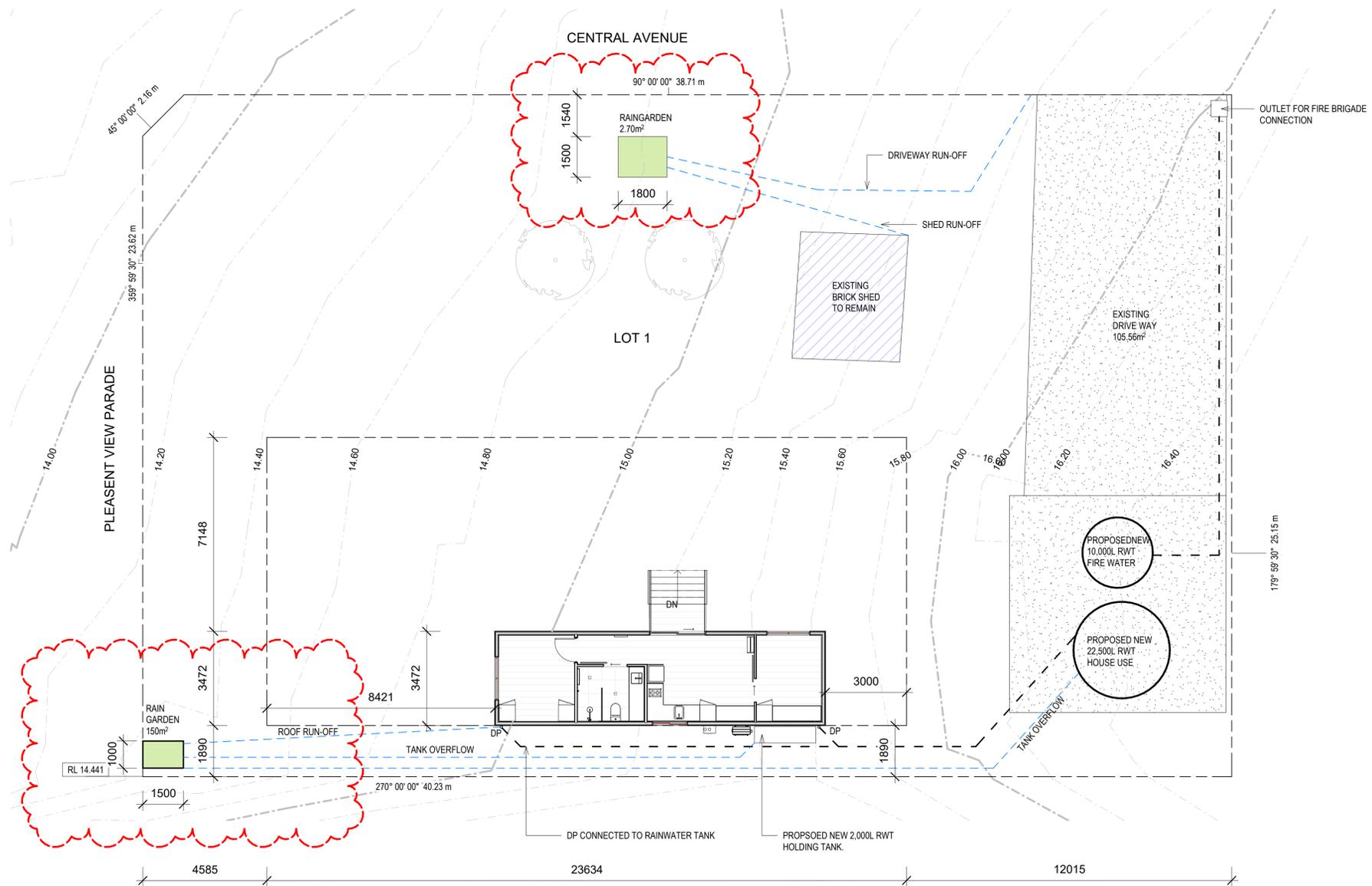
1:0 @ A1
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| DEVELOPMENT SUMMARY | | |
|---------------------|---------------------|---------------------|
| | AREA | TOTAL |
| TOTAL SITE AREA | - | 1010 m ² |
| EXISTING FLOOR AREA | 18.6 m ² | - |
| PROPOSED FLOOR AREA | 60.6 m ² | - |



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| Revision | Revision Description | Revision Date |
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| 3 | ISSUED FOR INFORMATION | 09/12/24 |
| 4 | ISSUED FOR INFORMATION | 17/03/25 |
| 5 | ISSUED FOR INFORMATION | 09/04/25 |
| 6 | ISSUED FOR INFORMATION | 11/04/25 |
| 7 | ISSUED FOR INFORMATION | 15/04/25 |
| 8 | ISSUED FOR INFORMATION | 17/04/25 |
| 9 | ISSUED FOR INFORMATION | 10/06/25 |

Project Name:
MURRAY

Project Address:
8 Pleasant View Pde, Bundabah NSW 2324

Client: Ghomes

Drawing Status
PRELIMINARY

Drawing Title
SITE PLAN

Project Number
24063

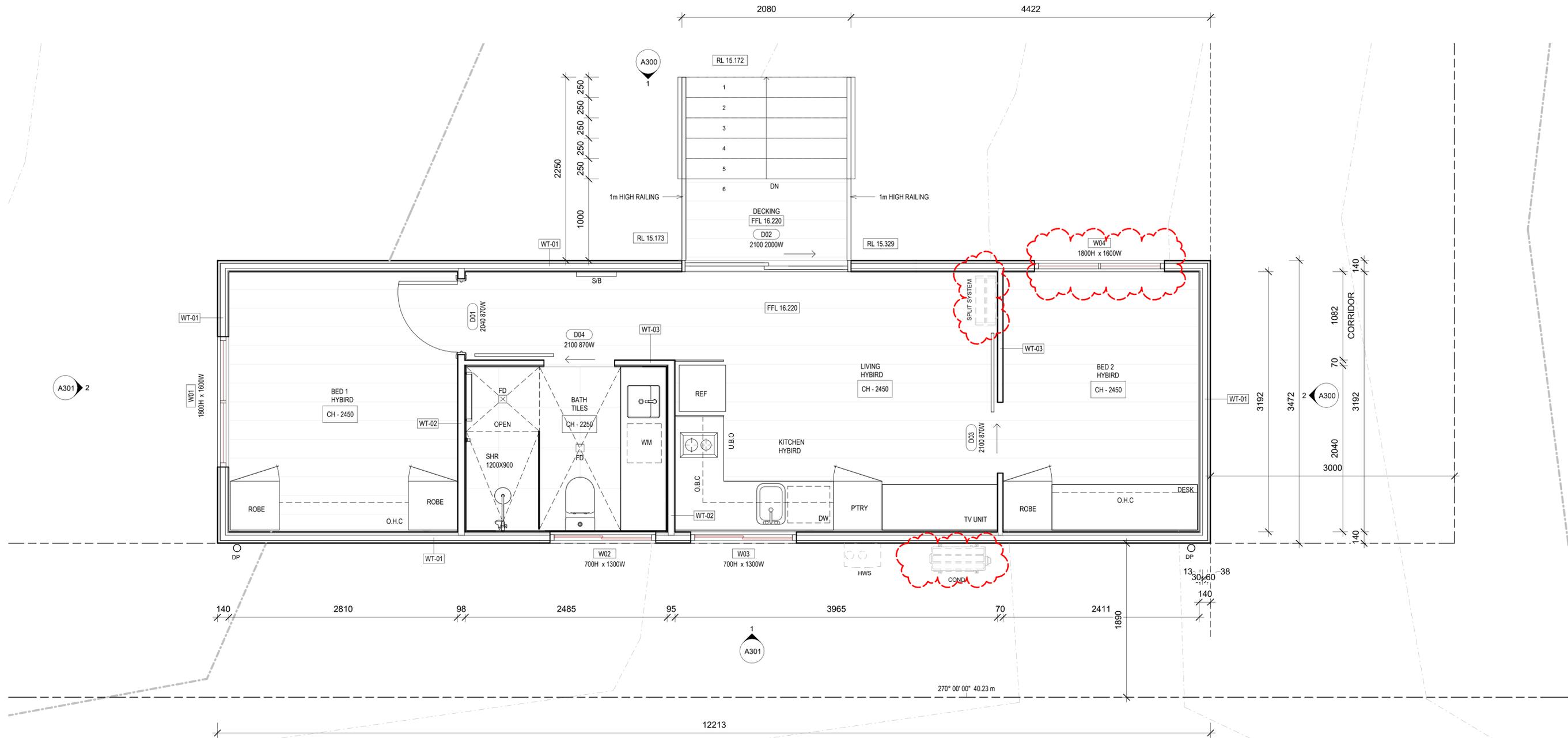
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Revision
9

Issue Date
10/06/25

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| 2 | ISSUED FOR INFORMATION | 07/11/24 |
| 3 | ISSUED FOR INFORMATION | 09/12/24 |

Project Name :
MURRAY

Project Address:
8 Pleasant View Pde, Bundabah NSW 2324

Client : Ghomes

Drawing Status
PRELIMINARY

Drawing Title
FLOOR PLAN

Project Number
24063

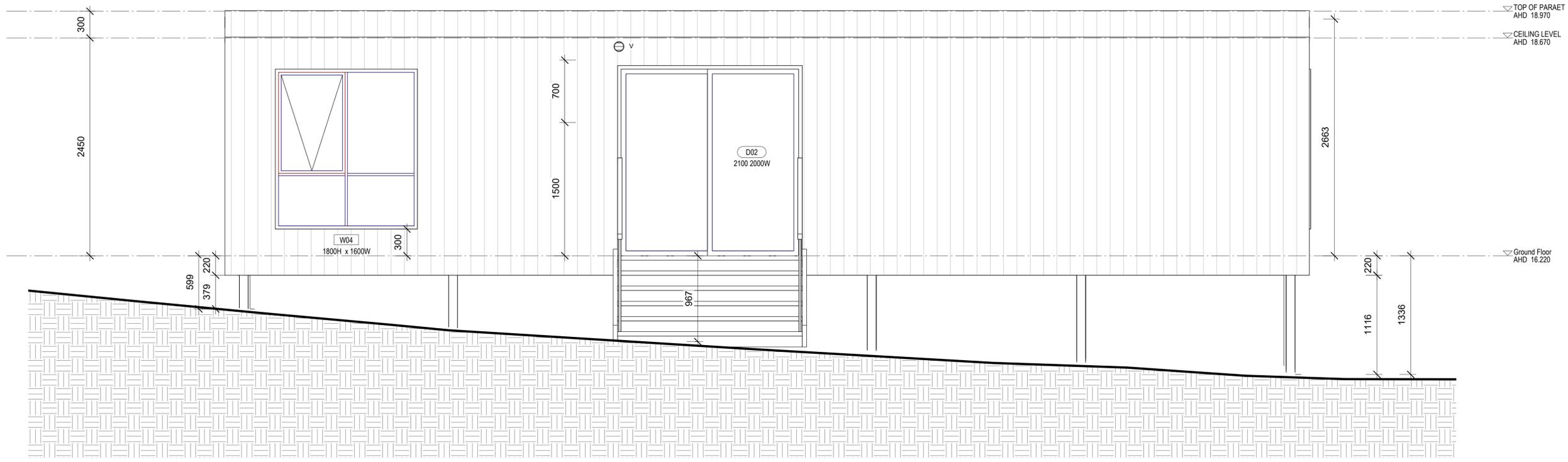
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Revision
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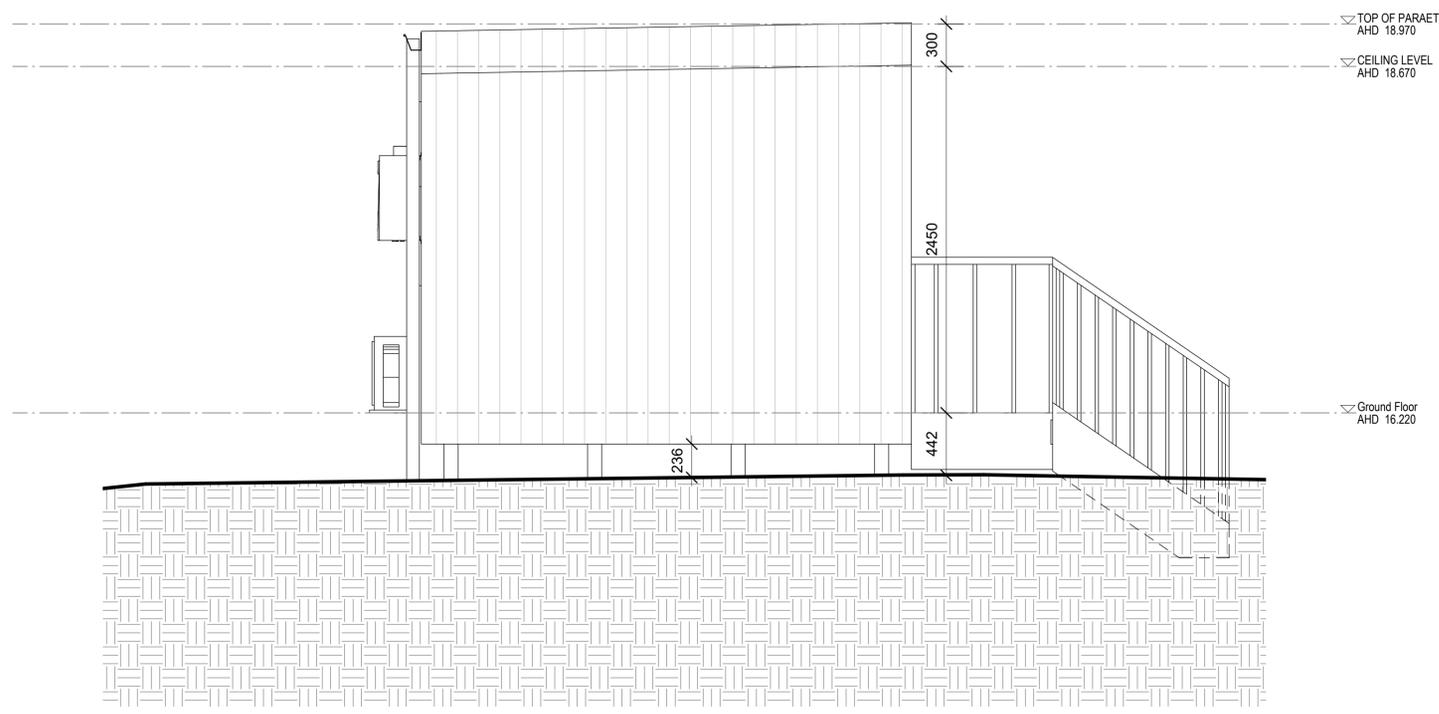
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 09/12/24

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 1:50 @ A3





1 NORTH ELEVATION
1 : 25



2 EAST ELEVATION
1 : 25



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| 3 | ISSUED FOR INFORMATION | 09/12/24 |

Project Name :
MURRAY

Project Address:
**8 Pleasant View Pde, Bundabah
NSW 2324**

Client : Ghomes

Drawing Status
PRELIMINARY

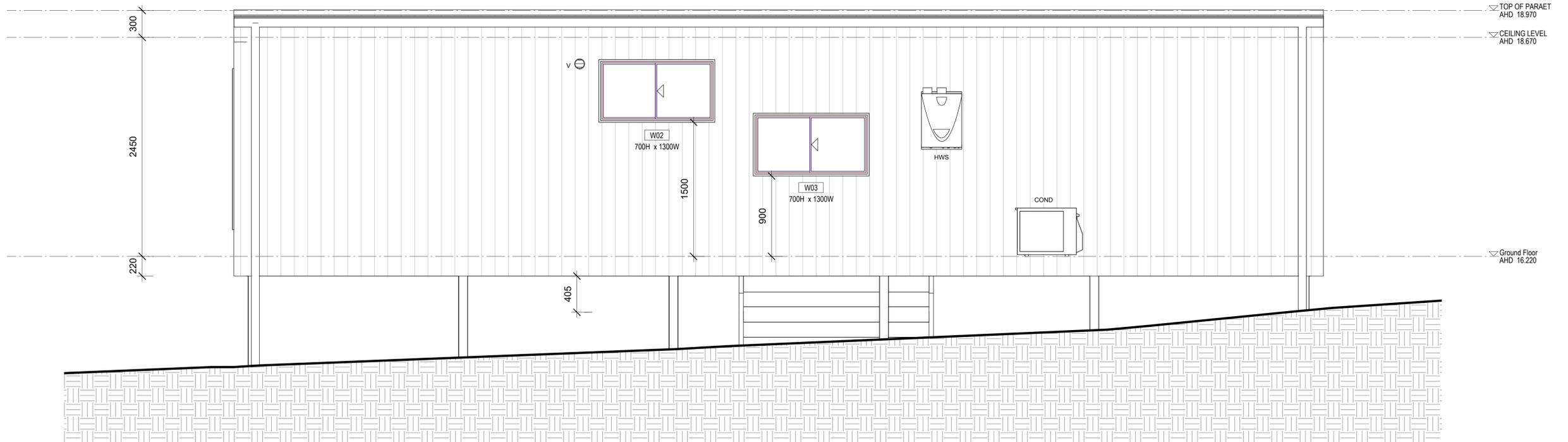
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ELEVATIONS

Project Number
24063

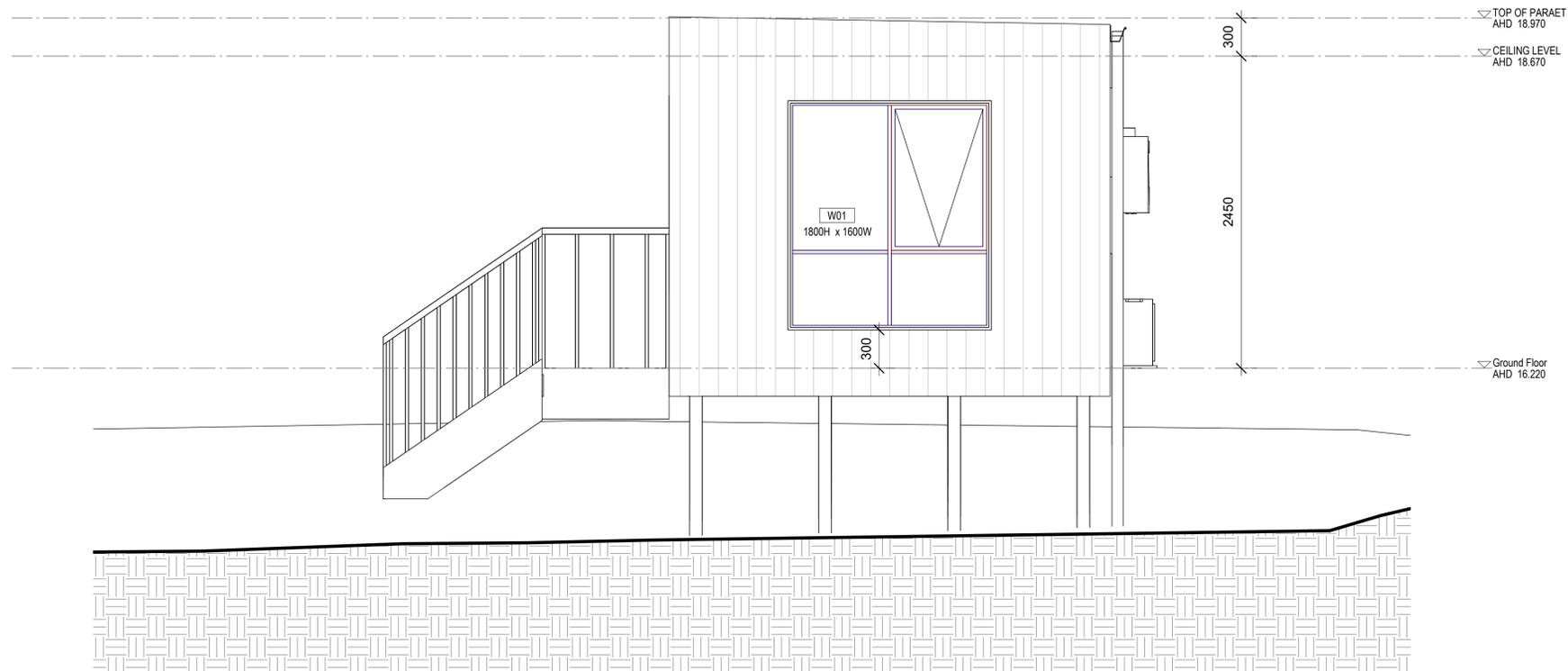
Drawing Number
A300

Revision
3
Issue Date
09/12/24

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1 SOUTH ELEVATION
1 : 25



2 WEST ELEVATION
1 : 25



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| 1 | ISSUED FOR INFORMATION | 04/11/24 |
| 2 | ISSUED FOR INFORMATION | 07/11/24 |
| 3 | ISSUED FOR INFORMATION | 09/12/24 |

Project Name :
MURRAY

Project Address:
**8 Pleasant View Pde, Bundabah
NSW 2324**

Client : Ghomes

Drawing Status
PRELIMINARY

Drawing Title
ELEVATIONS

Project Number
24063

Drawing Number
A301

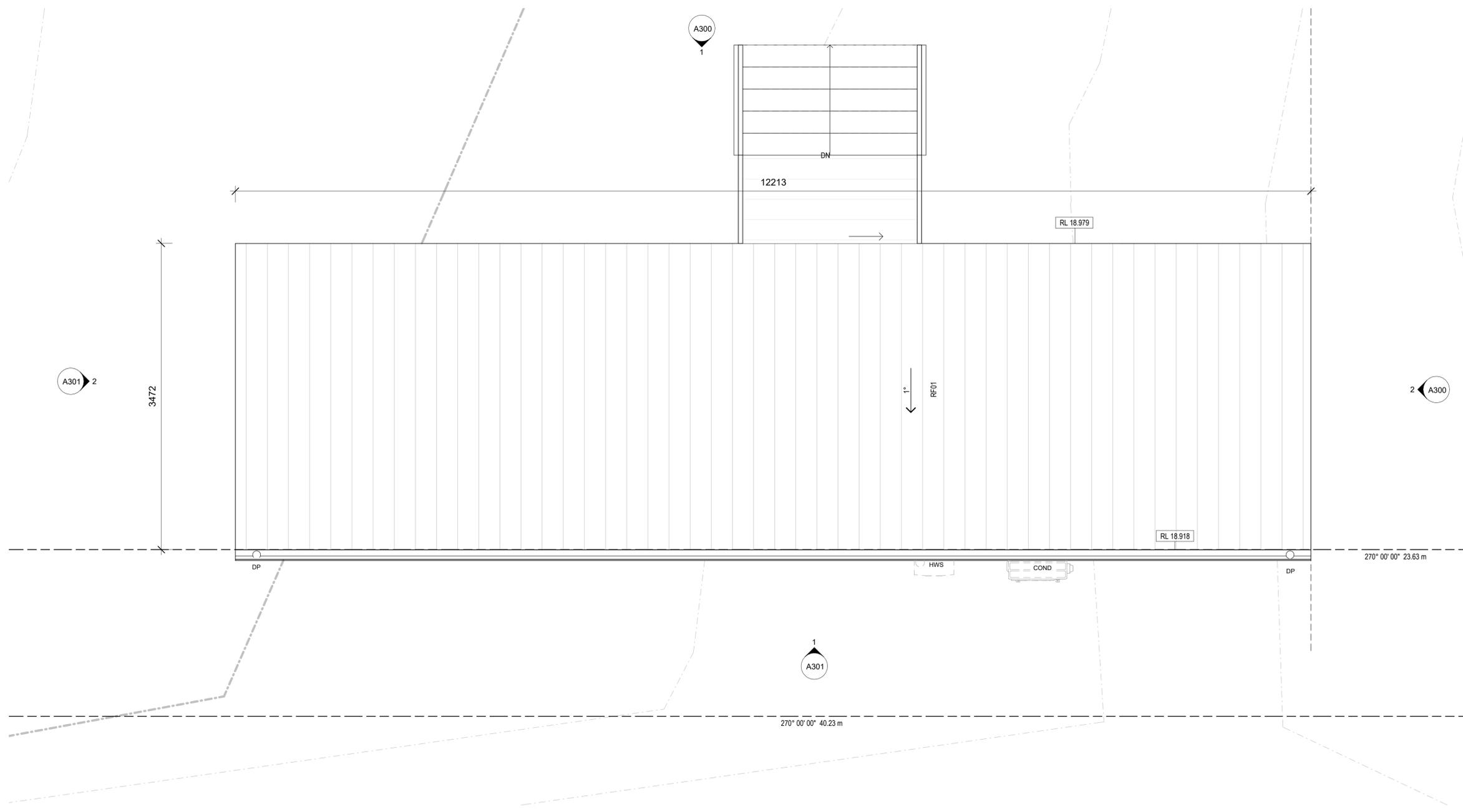
Revision
3

Issue Date
09/12/24

1:25 @ A1 0 0.25 0.5 0.75 1.25M
1:50 @ A3

LEGEND:

-  EXISTING/NOT PART OF THIS SCOPE
 -  EXISTING
 -  DENOTES EXISTING BUILDING, FIXTURES, FLOORINGS AND CONCRETE DRIVE WAY TO BE DEMOLISHED
 -  DENOTES EXISTING TREES
 -  DENOTES EXISTING WATER METER
 -  DENOTES EXISTING GAS METER
 -  DENOTES EXISTING ELECTRIC SWITCHBOARD
 -  DENOTES TELECOMMUNICATION PIT
 -  DENOTES DOWNPIPE
 -  DENOTES DOWNPIPE WITH SPREADER
 -  DENOTES DOWNPIPE WITH RAINHEAD
 -  DENOTES EXISTING BINS
 -  RED - GENERAL WASTE
YELLOW - CO-MINGLED RECYCLING
GREEN - ORGANIC FOOD WASTE
 -  DENOTES EXISTING RAIN WATER TANK
 -  DENOTES SETDOWNS
 -  C CUPBOARD
 -  FP FIREPLACE
 -  DP O/F SUMP
- ROOF LEGEND**
- RF01 METAL ROOF



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| 3 | ISSUED FOR INFORMATION | 09/12/24 |
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Project Name :
MURRAY

Project Address:
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Client : Ghomes

Drawing Status
PRELIMINARY

Drawing Title
ROOF PLAN

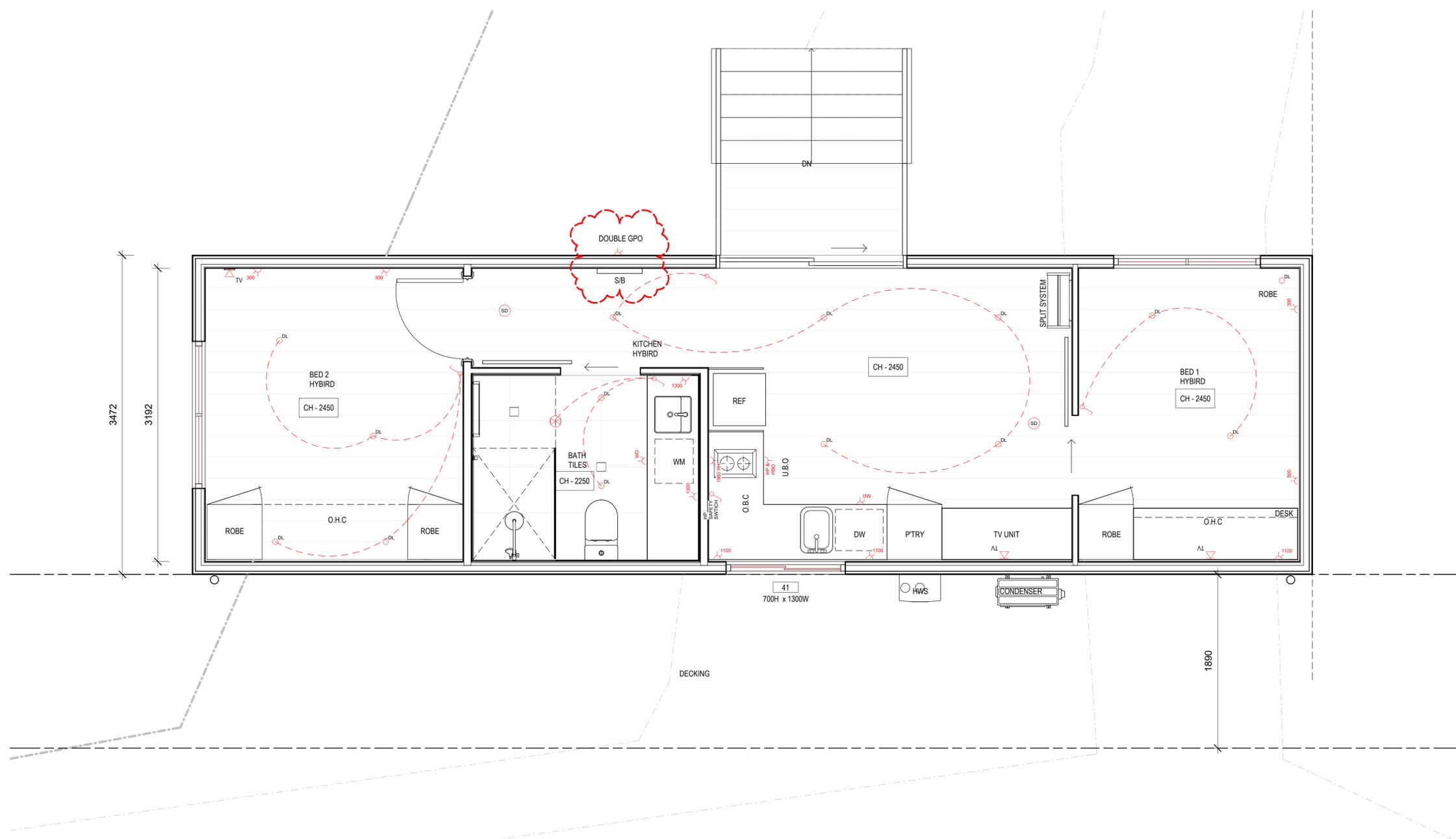
Project Number Drawing Number Revision
24063 A400 3

Issue Date

09/12/24



- FIRE LEGEND**
- SD INTERCONNECTED SMOKE ALARM
- ELECTRICAL LEGEND**
- SWITCH - DIFFUSER
 - GPO - NO. INDICATES HEIGHT AFFL
 - ELECTRICAL SWITCHBOARD
MSB=MAIN SWITCH BOARD WITH TRANSPARENT GREY LID
 - TV-DATA-FOX
- MECHANICAL LEGEND**
- EXHAUST FAN
BATHROOM = 25L/S
KITCHEN & L'DRY = 40L/S
- LIGHTING LEGEND**
- DL DOWN LIGHT
 - EWL EXTERNAL WALL LIGHT



1 ELECTRICAL PLAN
1 : 25



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Client : Ghomes

Drawing Status
PRELIMINARY

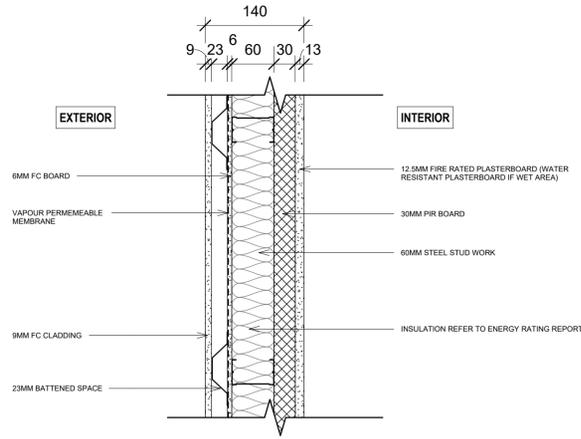
Drawing Title
ELECTRICAL

Project Number **24063** Drawing Number **A500** Revision **3**

Issue Date 09/12/24

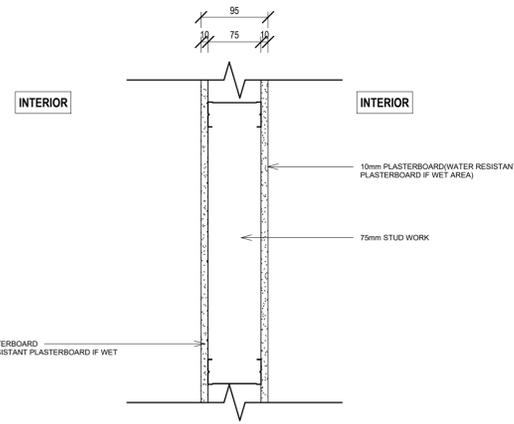
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WALL TYPES



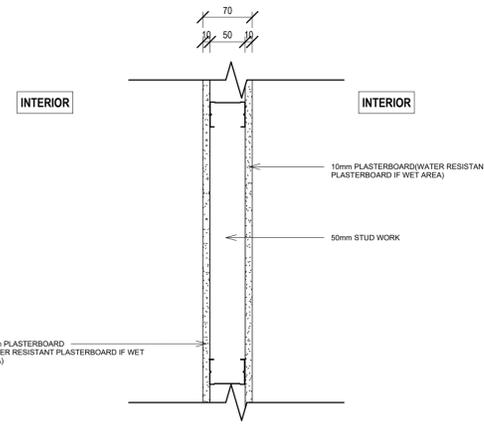
WT-01 EXTERNAL WALL

- 9MM FC CLADDING
- 23MM BATTED SPACE
- VAPOURPERMEABLE MEMEBRANE
- 6MM FC BOARD
- 60MM STEEL STUD WORK WITH ROCKWOOL BATTS
- 30MM PIR BOARD
- 12.5MM FIRE RATED PLASTERBOARD (WATER RESISTANT PLASTERBOARD IF WET AREA)



WT-02 INTERNAL SINGLE STUD WALL

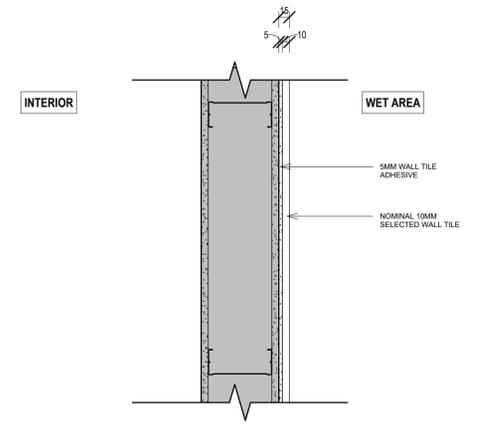
- 10MM PLASTERBOARD
- 75MM STUD WORK
- 10MM PLASTERBOARD



WT-03 INTERNAL SINGLE STUD WALL

- 10MM PLASTERBOARD
- 50MM STUD WORK
- 10MM PLASTERBOARD

WALL FINISH



WF-01 WET AREA WALL TILE FINISH

- 5M WALL TILE ADHESIVE
- NOMINAL 10MM SELECTED WALL TILE



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Project Name :
MURRAY

Project Address:
8 Pleasant View Pde, Bundabah NSW 2324

Client : 6homes

Drawing Status
PRELIMINARY

Drawing Title
WALL TYPES

Project Number
24063

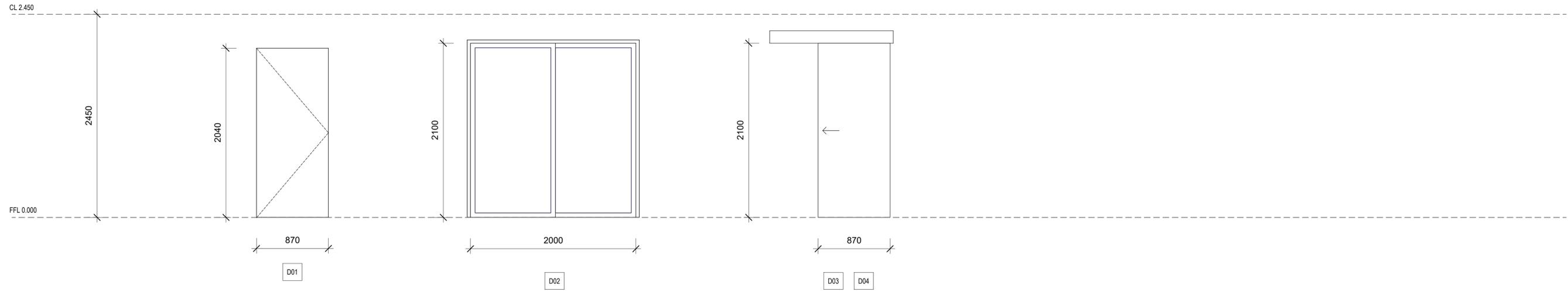
Drawing Number
A600

Revision
3

Issue Date
09/12/24

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1:50 @ A3





| DOOR SCHEDULE | | |
|----------------|--------|-------|
| DOOR NO. | HEIGHT | WIDTH |
| D01 | 2040 | 870 |
| D02 | 2100 | 2000 |
| D03 | 2100 | 870 |
| D04 | 2100 | 870 |
| Grand total: 4 | | |



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Project Name :
MURRAY

Project Address:
8 Pleasant View Pde, Bundabah NSW 2324

Client : Ghomes

Drawing Status
PRELIMINARY

Drawing Title
DOOR SCHEDULE

Project Number
24063

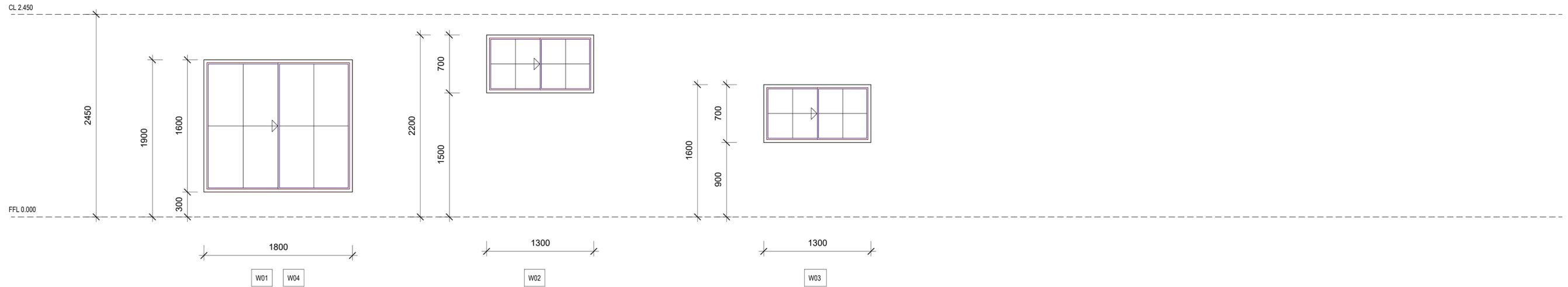
Drawing Number
A700

Revision
3

Issue Date
 09/12/24

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| WINDOW SCHEDULE | | | |
|-----------------|-------|--------|-------------|
| WINDOW NO. | WIDTH | HEIGHT | SILL HEIGHT |
| W01 | 1600 | 1800 | 300 |
| W02 | 1300 | 700 | 1500 |
| W03 | 1300 | 700 | 900 |
| W04 | 1600 | 1800 | 300 |



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Project Name :
MURRAY

Project Address:
8 Pleasant View Pde, Bundabah NSW 2324

Client : ghomes

Drawing Status
PRELIMINARY

Drawing Title
WINDOW SCHEDULE

Project Number
24063

Drawing Number
A701

Revision
3

Issue Date
 09/12/24

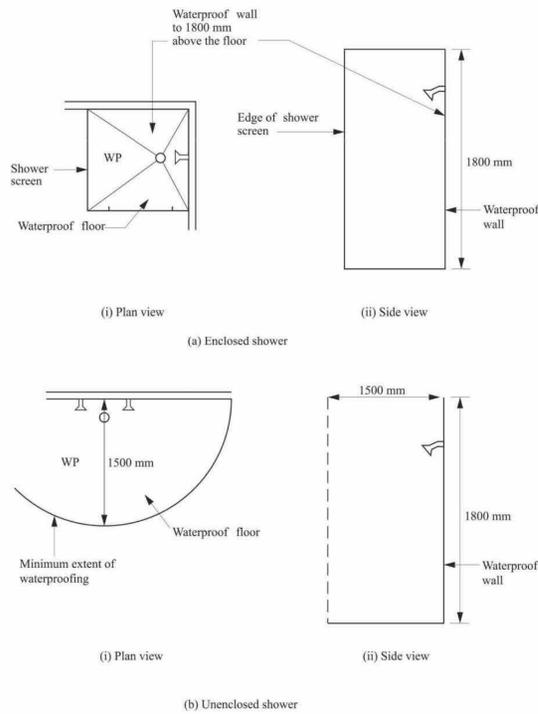
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1:0 @ A3



10.2.2 Shower area (enclosed and unenclosed)

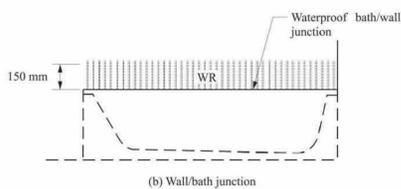
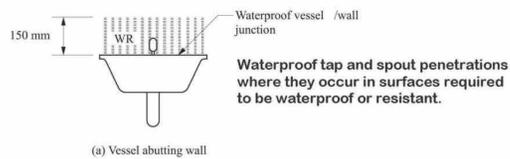
Figure 10.2.2 Extent of treatment for shower areas — concrete compressed fibre-cement and fibre-cement sheet floors



10.2.2(c) Wall junctions and joints within the shower area must be waterproofed not less than 40mm either side of the junction.

10.2.3 Floors outside shower area for concrete and cement sheet flooring must be water resistant. Wall/floor junctions must be waterproofed.

10.2.5 Other areas



Laundries and WC's, the floor must be water resistant. Any junctions to be water resistant and any flashing used in junctions must be not less than 40mm.

If a Bidet is to be installed with hand held spray, the floor must be waterproofed, the wall must be water proofed to a height of 150mm above the floor substrate where within 900mm of the connection, and the wall must be water resistant in WC within 900mm of the connection to a height of not less than 1200mm. Wall junctions within 900mm of connection, wall/floor junctions and penetrations must be waterproofed.

10.2.4 Areas adjacent to baths and spas without showers

Figure 10.2.4a Areas adjacent to baths and spas without showers for concrete, compressed fibre-cement and fibre-cement sheet flooring

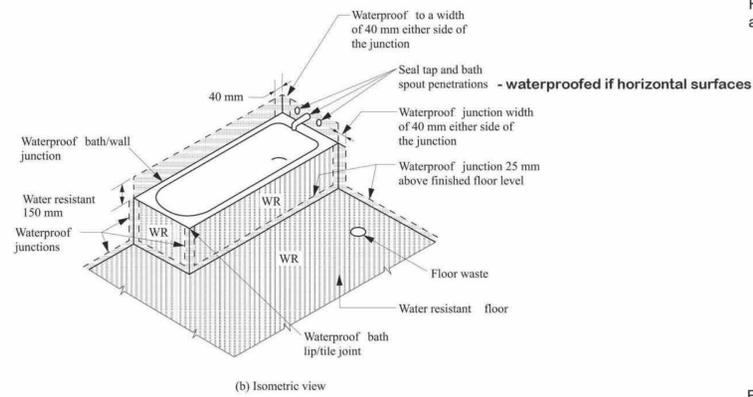
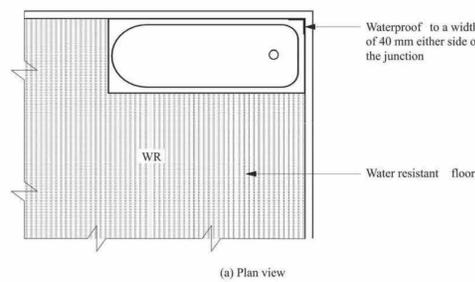
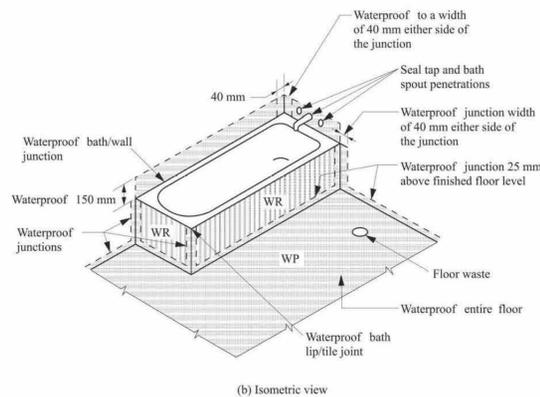
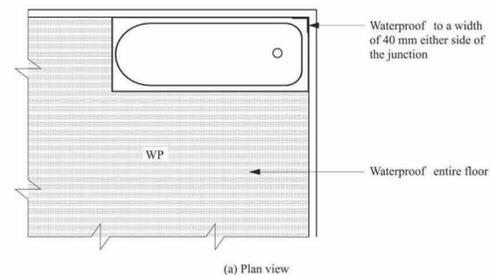


Figure 10.2.4b Areas adjacent to baths and spas without showers for timber floors including particleboard, plywood and other floor materials



NOTE:
REFER NCC 2022 PART 10.2 WET AREA WATERPROOFING FOR FULL CONTENTS OF THE REGULATION

10.2.15 Stepped showers

Figure 10.2.15a Typical enclosed stepped down shower construction (membrane below tile bed)

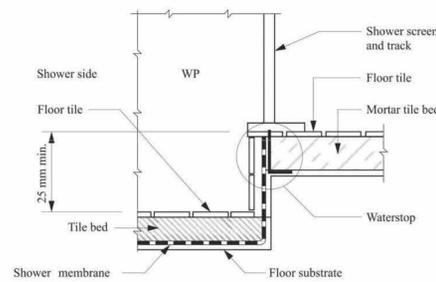


Figure 10.2.15b Typical enclosed stepped down shower construction (membrane above tile bed)

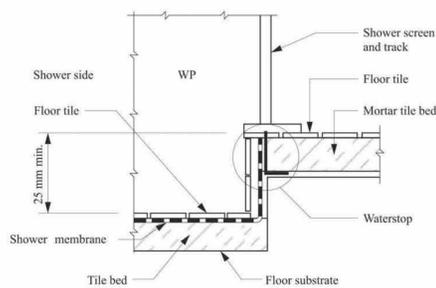
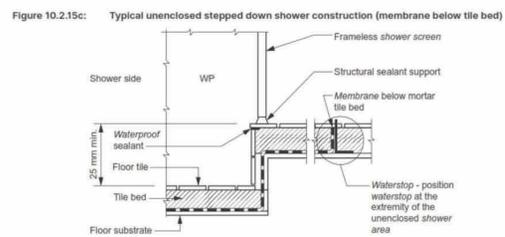
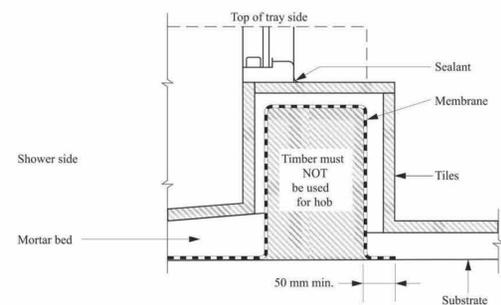


Figure 10.2.15c Typical unenclosed stepped down shower construction (membrane below tile bed)



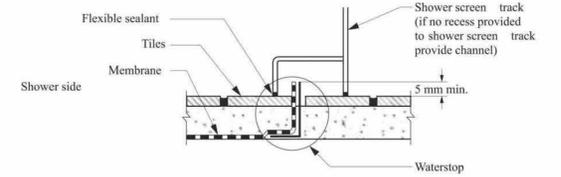
10.2.16 Hob construction

Figure 10.2.16 Typical hob construction — internal membrane



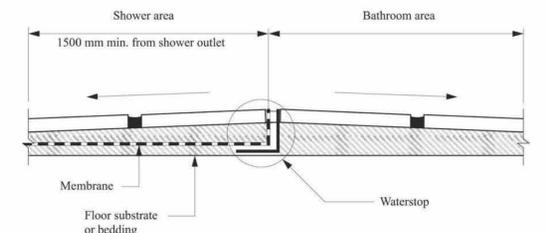
10.2.17 Enclosed showers with level threshold (without hob or set down)

Figure 10.2.17 Typical hobless construction



10.2.18 Unenclosed showers

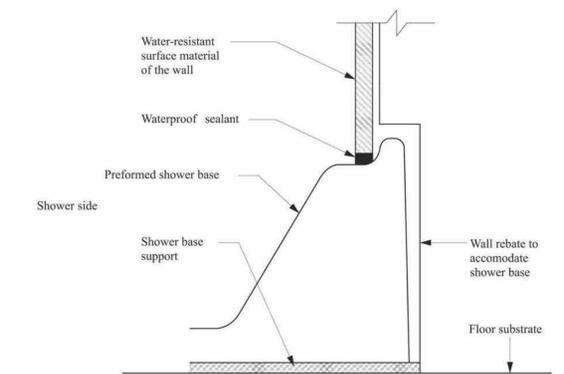
Figure 10.2.18 Typical termination of membrane at extent of shower area



A waterstop must be installed a min horizontal distance of 1500mm from the shower rose. The whole of the floor must be waterproofed and drained to floor waste (as for a shower area).

10.2.19 Preformed shower bases

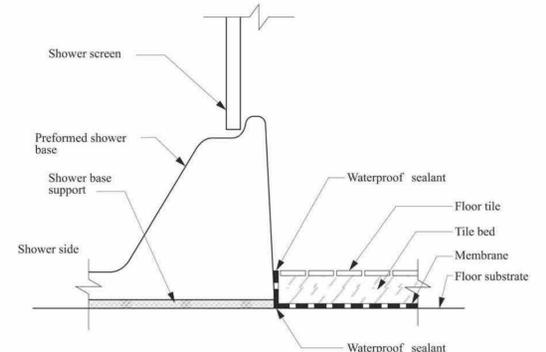
Figure 10.2.19a Typical preformed shower base wall/floor junction



▼ Figure Notes

1. Rebating of timber and steel framed walls must be in accordance with AS 1684 or NASH Standard Part 2 as appropriate.
2. Where rebating of masonry walls is required, it must be accommodated in the design in accordance with AS 3700.

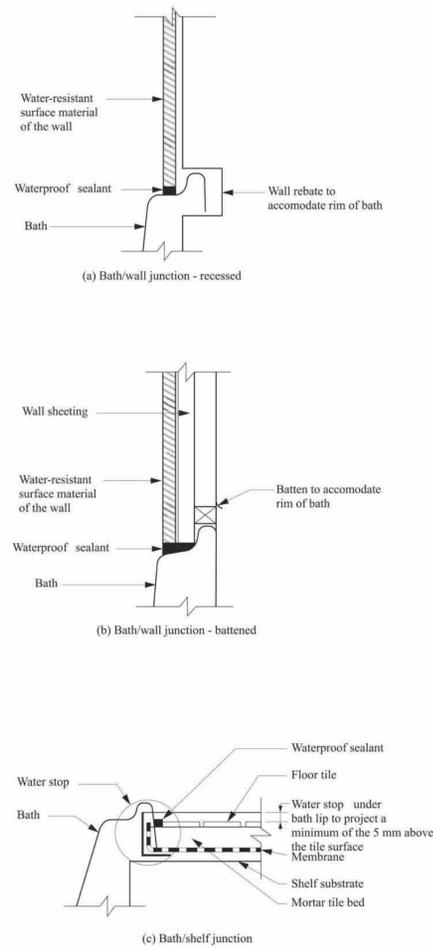
Figure 10.2.19b Typical preformed shower base/floor junction on timber floors, including particleboard, plywood and other timber materials



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10.2.20 Baths and spas

Figure 10.2.20 Typical bath junctions



▼ Figure Notes

1. Rebating of timber and steel framed walls must be in accordance with AS 1684 or NASH Standard Part 2 as appropriate.
2. Where rebating of masonry walls is required, it must be accommodated for in the design in accordance with AS 3700.
3. For diagram (c), where a **waterstop** cannot be provided, a Type 1 or Type 2 junction can be used with AS 3740.

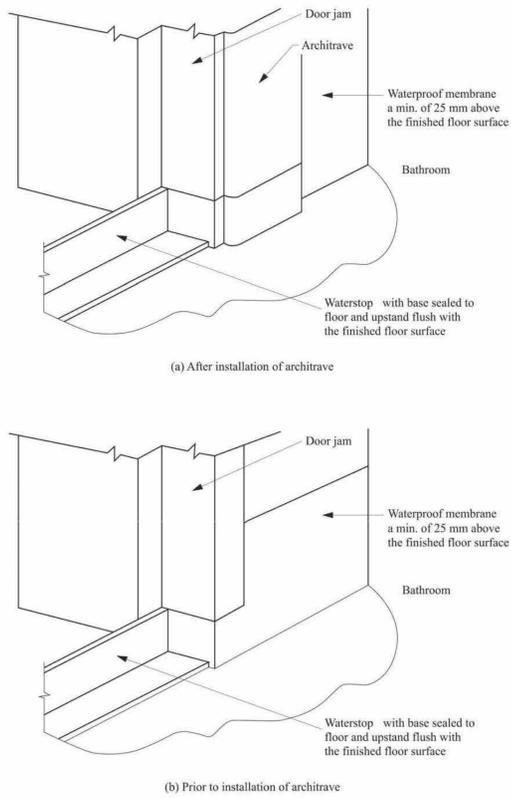
10.2.8 materials - Waterproof
Any membranes used must comply with As/NZS 4858

10.2.12 - Wet Area Floors - Falls
Where a floor waste is installed, the min continuous fall of a floor plane to the waste is 1:80. The max continuous fall of a floor plane to the waste is 1:50.

Refer to BCA for Penetrations, Flashings, membranes, wall sheeting substrates, bond breaker installation etc for more specific details

10.2.24 Flashings/junctions

Figure 10.2.24 Typical bathroom door details for whole bathroom waterproofing



Explanatory information

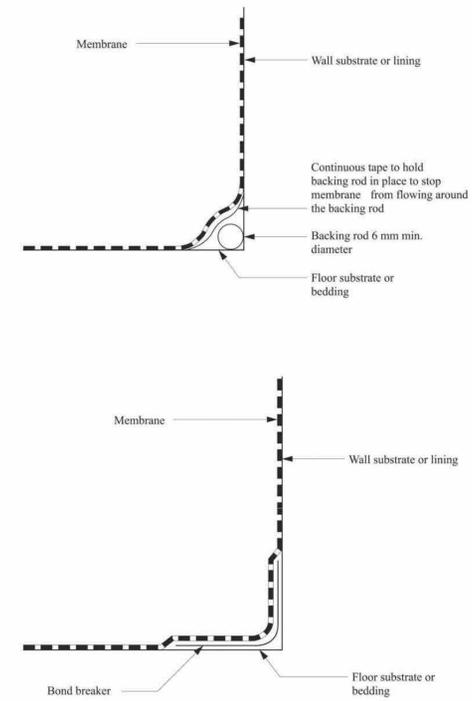
Vertical flashing may be used as follows:

- (a) External vertical flashing may be used with external membrane systems and installed behind the wall sheeting or render. They must have legs of sufficient width to allow the wall sheeting or render to overlap by not less than 32 mm.
- (b) Internal vertical flashing may be used with both external and internal membrane systems provided each leg has a minimum overlap of 40 mm to the wall sheeting or render and where used with—
 - (i) internal membrane, must extend vertically from the shower tray; and
 - (ii) external membranes, must overlap the top edge of the floor waterproofing system by not less than 20 mm; and
 - (iii) preformed shower bases or baths, must extend to the bottom edge of the wall sheeting or render.

NOTE:
REFER NCC 2022 PART 10.2 WET AREA WATERPROOFING FOR FULL CONTENTS OF THE REGULATION

10.2.27 Bond breaker installation for bonded membranes

Figure 10.2.27 (explanatory) Typical bond breaker details

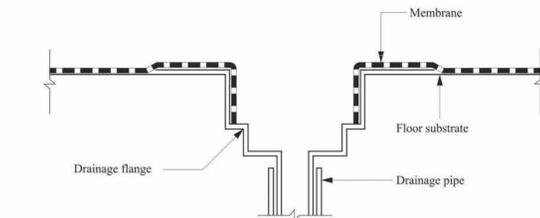


▼ Figure Notes

1. Bond breakers for Class I membranes (low extensibility) allow the membrane to flex rather than stretch.
2. Bond breakers for Class II membranes (medium extensibility) allow the membrane to stretch. If a tape is used as a bond breaker, either the membrane must not bond to the tape or the tape must have elastic properties similar to the membrane.
3. Bond breakers for Class III membranes (high extensibility) allow the membrane to have an even thickness.

10.2.29 Membrane to drainage connection

Figure 10.2.29 Typical membrane termination at drainage outlet



Explanatory information: Drainage flanges

- For membrane drainage connections in concrete floors: drainage flange may be either cast into the concrete slab or set into the top surface of the concrete slab or the tile bed.
- For membrane drainage connections in other floors: drainage flange may be either set into the floor substrate or the tile bed.

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